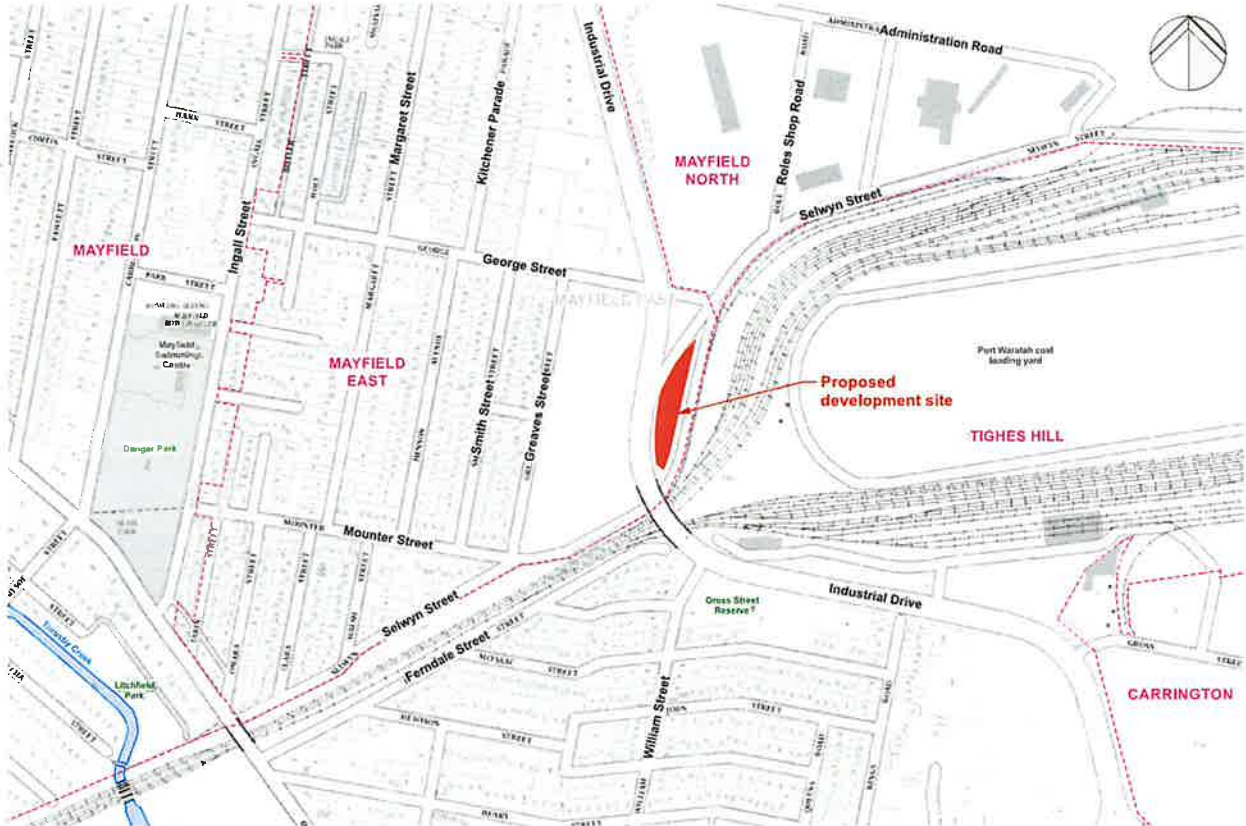


Site Analysis: 20 Selwyn Street, MAYFIELD EAST
Scale 1:750



Site Location: 20 Selwyn Street, MAYFIELD EAST
Scale 1:5000



Image 1 - View of proposed development site from Selwyn Street with existing trees along Industrial Drive

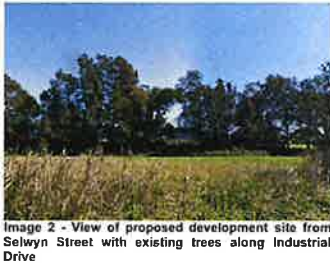


Image 2 - View of proposed development site from Selwyn Street with existing trees along Industrial Drive

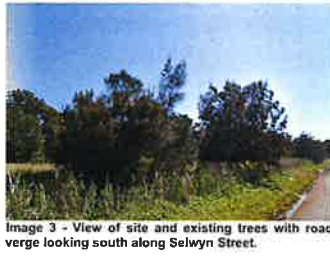


Image 3 - View of site and existing trees with road verge looking south along Selwyn Street

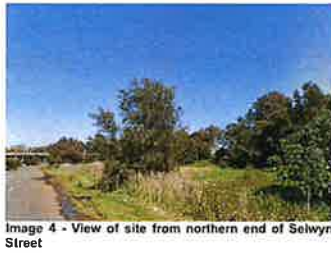


Image 4 - View of site from northern end of Selwyn Street

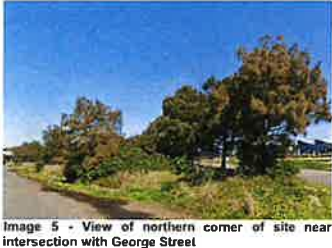


Image 5 - View of northern corner of site near intersection with George Street



Image 6 - View of railway yard opposite proposed development site from Selwyn Street



Image 7 - View from Industrial Drive looking to proposed development site and railway yard beyond



Image 8 - View of existing trees along rear of site from Industrial Drive

Site Images: 20 Selwyn Street, MAYFIELD EAST

Proposed Development

Site Address: 20 Selwyn Street, MAYFIELD EAST NSW 2304
Selwyn Street Industrial
Proposal: Shade Designs
Building Designer: Shade Designs
Site Area: 4,028.6m²
New Structures: 4
Stores: 1

Legend	
Existing Site	
Property boundary	—
Spot height	•
Contour (interval 0.2m)	—
Tree	○
Existing Services	
Water main	—
Section Valve/Scour	—
Overhead power/Pole	—
Comms line	—
Gas main	—
Stormwater pit	—

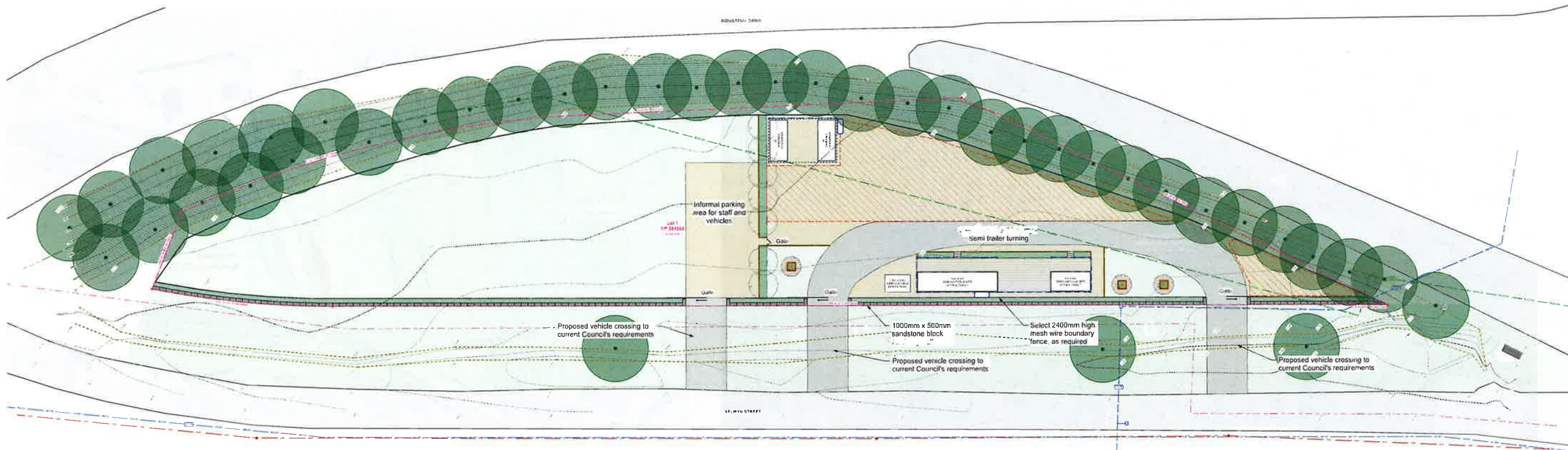
Parcels	Lot 1 DP 581002
Area	4,028.6m ²
Proposed Project	Industrial Development
LGA / Suburb	Newcastle City Council / Mayfield East
Zoning	SP1 - Special Activities
Acid Sulfate Soils	Not defined
Max Height of Building	N/A
State Environmental Planning Policies	SEPP (Biodiversity & Conservation) 2021 SEPP (Building Sustainability Index BASIX) 2004 SEPP (Exempt & Complying Development Codes) 2008 SEPP (Housing) 2021 SEPP (Industry & Employment) 2021 SEPP (Planning Systems) 2021 SEPP (Primary Production) 2021 SEPP (Resilience & Hazards) 2021 SEPP (Resources & Energy) 2021 SEPP (Transport & Infrastructure) 2021 SEPP 65 - Design Quality Residential Apartment Development
Development Control Plans	Newcastle DCP 2012
Land Application LEP	Newcastle Local Environmental Plan 2014
Local Aboriginal Council	AWABAKAL
Mine Subsidence Development	Not applicable
Mine Subsidence District	Not applicable
Regional Plan Boundary	Hunter
1.5m Buffer around Classified Roads	Classified Road Adjacent

Property Details from NSW Dept. of Planning Portal
(dated: 19/08/2023)



DEVELOPMENT APPLICATION. NOT FOR CONSTRUCTION.

rev no:	date:	comment:	by:	by:	verified:	Landscape Consultants Declaration This project is designed to meet with NCC DCP requirements for Category 2 Landscape Design <i>Gary Edwards</i> Gary Edwards Bachelor of Landscape Architecture (2000 Canberra) Certificate of Horticulture (1991 Orange TAFE)	Project: Selwyn Street Industrial Client: JBC Family Nominees Pty Ltd	Site: 20 Selwyn Street MAYFIELD EAST NSW 2304 Drawing: Site Analysis	 Gary Edwards Landscape Architect Email: thegarden craftsman@gmail.com	WORK TO FIGURED DIMENSIONS IN PREFERENCE TO SCALE CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS. Drawn: Scale: A1: Page no.: Print date: GE 1:750, 5,000 DA01 21/8/23 Concept: Project no.: Issue no: GE 2305HarmanSelwyn A
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Site Plan - Landscape Concept Plan
Scale 1:300

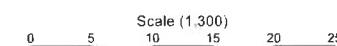


Street Elevation - 20 Selwyn Street
Scale 1:100

Legend	
Existing Site	
	Property boundary
	Spot height
	Contour (interval 0.2m)
Proposed Site Works	
Civil Works	
	Tree to be retained
	Tree to be removed
Finishes/Materials	
	Concrete driveway (refer to architect's documentation)
	1000mm x 500mm sandstone block (refer to architect's documentation)
	Consolidated gravel roadbase (refer to architect's documentation)
	Timber decking (refer to architect's documentation)
	Turf/grass areas (refer to Detail on Sheet DA04)
	Scaffold laydown storage area (refer to architect's documentation)
	Mass planting beds (refer to Planting Plans on Sheets DA03 & Details on Sheet DA04)
	Timber garden/crushed rhyolite edging (refer to Detail on Sheet DA04)
	Select 2400mm high mesh wire boundary fence, as required (refer to architect's documentation)
	1800mm high mesh wire fencing (refer to architect's documentation)
	Proposed tree (refer to Planting Plans on Sheets DA03 & Details on Sheet DA04)
Drainage	
	Reuse water tank
	Stormwater piping

Legend	
Existing Services	
	Water main
	Section Valve/Scour
	Overhead power/Pole
	Comms line
	Gas main
	Stormwater pit

Associated Documentation	
Architectural drawing set:	
- by:	Shade Design
- contact:	joel@shadedesign.net.au 0412 879 643 (m)
Existing Site Survey:	
- by:	Land Development Solutions
- contact:	mail@lds.net.au (02) 4963 5520
- postal:	PO Box 853 THE JUNCTION NSW 2291
Stormwater Management Plans:	
- by:	Land Development Solutions
- contact:	mail@lds.net.au (02) 4963 5520
- postal:	PO Box 853 THE JUNCTION NSW 2291



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Landscape Consultants Declaration
This project is designed to meet with NCC DCP requirements for Category 2 Landscape Design
Gary Edwards
Gary Edwards
Bachelor of Landscape Architecture (2000 Canberra)
Certificate of Horticulture (1991 Orange TAFE)



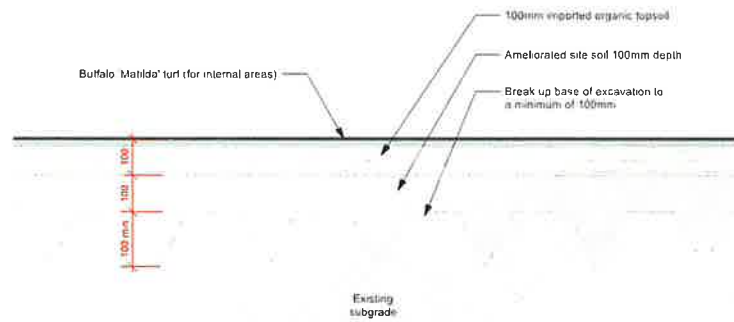
Project	
Selwyn Street Industrial	
Client:	
JBC Family Nominees Pty Ltd	

Site:	
20 Selwyn Street MAYFIELD EAST NSW 2304	
Drawing:	
Site Plan - Landscape Concept Plan	

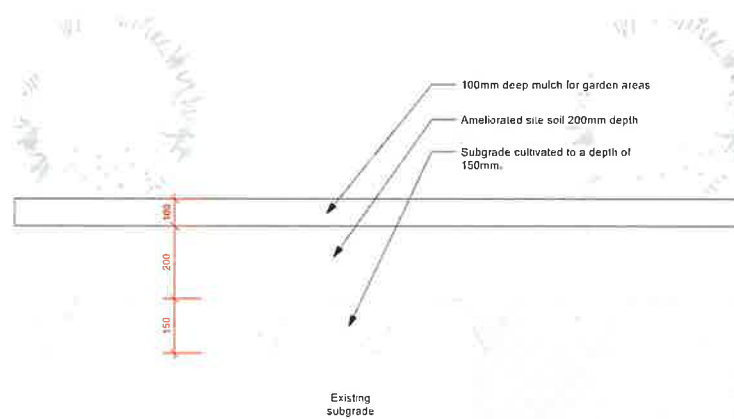


Landscape Architect
Email: thegarden craftsman@gmail.com

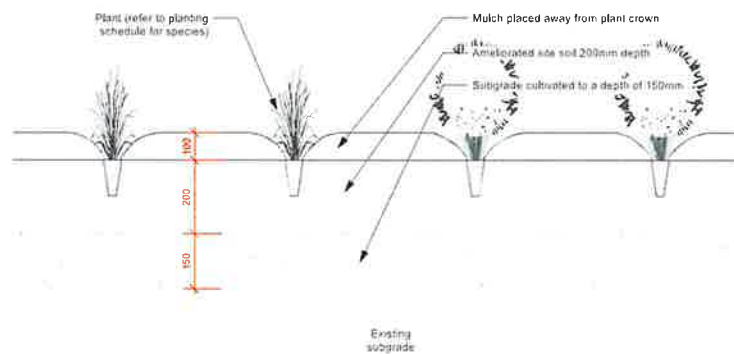
WORK TO FIGURED DIMENSIONS IN REFERENCE TO SCALE. CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS.			
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Concept:	Project no:	Issue no:	
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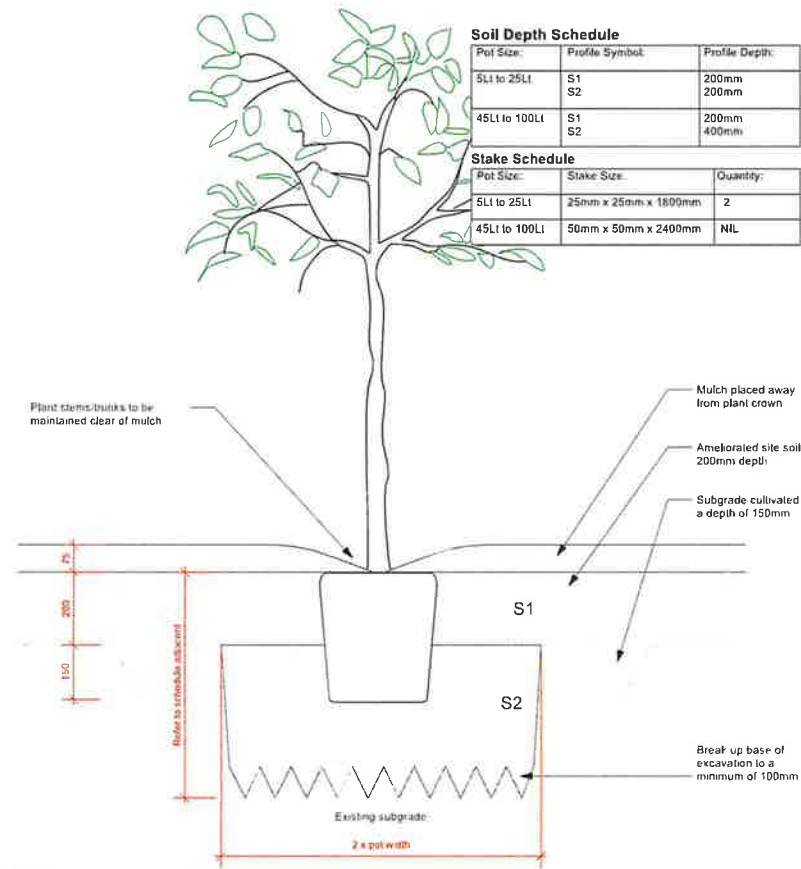
1
04
Typical Detail - Turf Profile
1:10



2
04
Typical Detail - Garden Area Profile
1:10

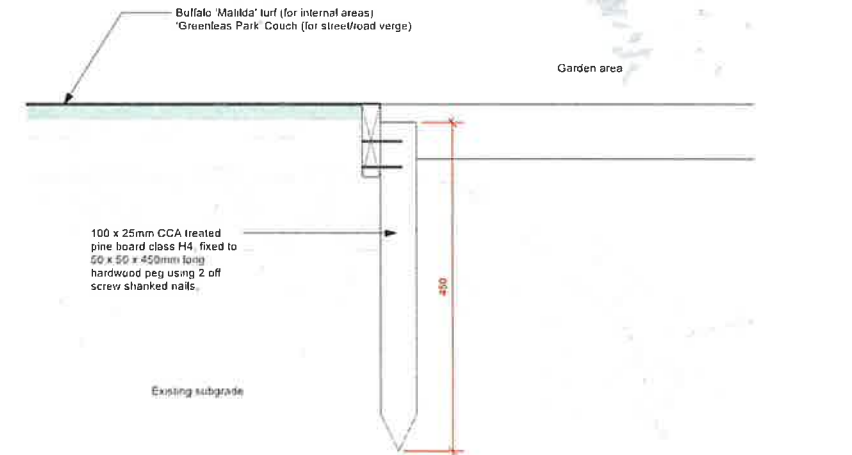


3
04
Typical Detail - Planting Setout
1:10

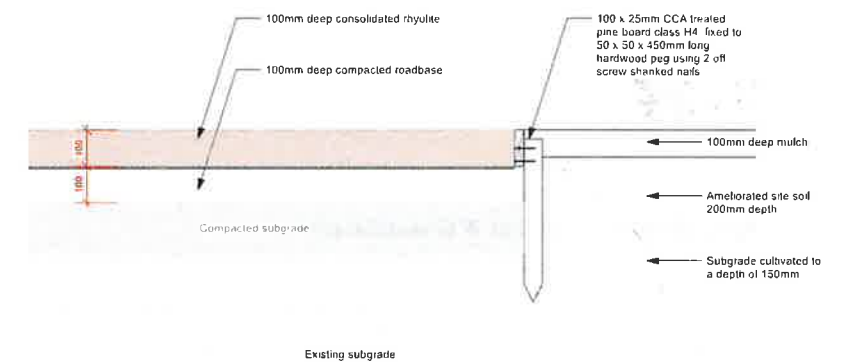


4
04
Typical Detail - Tree Planting Within Garden Areas
1:10

Soil Depth Schedule		
Pot Size:	Profile Symbol:	Profile Depth:
5L1 to 25L1	S1	200mm
	S2	200mm
45L1 to 100L1	S1	200mm
	S2	400mm
Stake Schedule		
Pot Size:	Stake Size:	Quantity:
5L1 to 25L1	25mm x 25mm x 1800mm	2
45L1 to 100L1	50mm x 50mm x 2400mm	NIL




5
04
Typical Detail - Timber Edging Profile (Turf/Garden)
1:5



6
04
Typical Detail - Consolidated Ryolite Area Profile
1:10



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rev no:	date:	comments:	by:	by:	verified:		Landscape Consultants Declaration	Project:	Site:			WORK TO FIGURED DIMENSIONS IN PREFERENCE TO SCALE CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS.
0	16/07/2023	Issued for Development Application only. Not for construction.	GE		Yes		THE IDEAS, INFORMATION AND CONCEPTS CONTAINED IN THIS DOCUMENT ARE THE PROPERTY OF THE GARDEN CRAFTSMAN. PHOTOCOPYING OR REPRODUCING THIS DOCUMENT AND PASSING IT ON TO OTHERS WITHOUT THE EXPRESS PERMISSION OF THE GARDEN CRAFTSMAN IS A BREACH OF RIGHTS UNDER THE COMMONWEALTH COPYRIGHT ACT OF 1965 (SECTION 10).	This project is designed to meet with NCC DCP requirements for Category 2 Landscape Design <i>Gary Edwards</i> Gary Edwards Bachelor of Landscape Architecture (2009 Carberra) Certificate of Horticulture (1991 Orange TAFE)	Selwyn Street Industrial	20 Selwyn Street MAYFIELD EAST NSW 2304	 Gary Edwards The Garden Craftsman Landscape Architect Email: thegardencraftsman@gmail.com	Drawn: Scale: 6 A1: Page no: Print date: GE Refer to DA04 21/8/23 each detail
								Client:	Drawing:			Concept: Project no: Release no: GE 2305HarmanSelwyn A
								JBC Family Nominees Pty Ltd	Site Construction Details			
	</											

Erosion & Sediment Control Plan or Soil & Water Management Plan

- An Erosion and Sediment Control Plan or Soil and Water Management Plan shall be submitted. The plan shall contain information required for the area of disturbance of the development or its distinct and separate stages in accordance with Development Control Plan 2014.
- The final plan shall include a signed and dated Statement of Compliance stating (in full):
 - a) This plan has been developed, certified and signed off by an appropriately qualified and experienced professional in erosion and sediment control;
 - b) The plan complies with the requirements for the area of disturbance in accordance with Development Control Plan 2014;
 - c) The plan and associated documents, calculations and drawings, have been prepared to a standard which, if properly implemented, shall achieve the water release criteria of 50mg/L of total suspended solids (TSS); and
 - d) All erosion and sediment control measures are in accordance with Development Control Plan 2014.

Hoarding and Construction Site Safety Fencing

- Construction site safety fencing and/or hoarding shall be provided in accordance with WorkCover requirements. Such fencing and/or hoarding shall be erected wholly within the property boundary unless prior approval from Council is obtained.
- Council approval is required to install hoarding, site fencing or overhead protective structures over or adjoining a public place i.e. a footpath or a Public Reserve. No work shall commence until written approval is obtained.

Dial Before You Dig (Advice)

- Prior to commencement of work, the free national community service "Dial Before You Dig" shall be contacted on 1100 regarding the location of underground services in order to prevent injury, personal liability and even death. Enquiries shall provide the property details and the nearest cross street/road.

Erosion and Sediment Control

- The size and location of a sediment trap/basin shall be determined prior to any activities, including demolition which would result in soil disturbance, based on site conditions in accordance with DCP 2014. The sediment trap/basin shall be installed and operational prior to any soil disturbance.
- Appropriate erosion and sediment controls shall be installed in accordance with Development Control Plan 2014.
- All disturbed areas shall be revegetated or rendered erosion resistant in accordance with Development Control Plan 2014 Guidelines – Erosion Prevention and Sediment Control Guidelines as soon as practical, and no later than the timeframes specified in Managing Urban Stormwater: Soils and Construction The Blue Book 4th Edition, Landcom, 2004.

Existing Trees

- Refer to Arborist Report, if available, for specifications for all existing trees.
- The existing trees to be retained on site are to be protected by surrounding with a 1.8m high chainmesh fence 3.00m from the base of the tree.
- This fence is to be erected prior to works commencing on site and is to be retained until all building works are completed.
- The enclosed area is to remain free of materials, machinery, vehicles or site sheds.

Initial Preparation

- The planting area must be free from any existing grass, particularly couch grass. Mechanical removal to be employed prior to planting and mulching.
- Excess soils and contaminated soil are to be removed within the guidelines of the council requirements to approved sites.
- Refer to Arborist Report for the location of existing trees to be removed and protection of existing trees to be retained.

Licensed Contractor

- All landscape works shall be implemented under the full supervision of a contractor with a current NSW Department of Fair Trading endorsed license in Structural Landscaping.

Soil Preparation

- Cultivate all subsoil areas to a depth of 150mm.
- Cultivate garden depth to 200mm and 100mm depth in all lawn areas; add a clay breaker to all garden areas.
- In all areas where fill is required, gain required levels using an organic soil mix.
- Remove excess clay, where required, to allow for addition of 200mm depth of premium organic garden soil to garden areas and 100mm depth of topsoil to lawn areas.
- Ensure all garden and lawn areas drain adequately (surface and subsurface) and are set at the recommended finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow.
- Ensure soil levels are set to allow for the addition of turf and mulches to specified requirements.

Planting of Trees, Shrubs, Grasses and Groundcovers

- Landscape works shall conform to planting densities as scheduled with all plants at nominated pot sizes and spacing's and be maintained for a minimum of 52 weeks to achieve continuous healthy growth.
- Ensure plants are installed within 24hrs of delivered.
- Set out plants as indicated on Planting Plans (refer to Sheets DA03) & Construction Details (refer to Sheet DA04).
- Add fertilizer, followed by 100mm of garden soil shall be placed into the base of hole and lightly consolidated.
- Base of stem shall finish flush with finished soil level.
- Thoroughly water all plants on first planting to soak soil of plant and surrounding soil so as to allow roots to adjust, do not allow drying out.
- Water regular over the first 3-4 weeks.
- Suppress all new weeds, within planting areas, that may arise throughout the contract.

Mulching

- Install 100mm minimum of forest mulch over all gardens area (refer to Sheet DA04), to aid plant establishment, covering mulch around all plants keeping away from stems and finishing flush with adjacent surfaces.
- Please Note: Narrow spaces between timber retaining walls and Lot Boundary fencing, where planing is not to occur, are to be mulched as per instructions above.

Turf Areas

- All internal turf areas to have suitable Buffalo 'Matilda' instant turf laid over prepared subsoils.
- Refer to Sheet DA04 for turf area details.

Timber Edging

- Min. 50mm x 100mm H4 treated pine timber edge to be located between all garden/turf areas & gravel/crushed rhyolite areas. Secure to 50mm x 50mm x 450mm hardwood timber pegs with galvanised nails, 2 per fixing.
- Refer to Sheet DA04 for timber edging area details.

Fencing

- Refer to Architect's Documentation for all fencing details.

Excavation & Retaining

- Refer to Engineer's & Architectural Documentation for all excavation & retaining details.
- Only retaining walls indicated on the approved plans shall be constructed under this consent.
- No additional excavation/fill shall occur outside the area as shown on the approved plans.
- No fill or retaining walls shall be located within any drainage easement located upon the subject property.
- Retaining walls, footings and associated drainage works shall be located wholly within the subject property boundaries and shall be connected to the existing stormwater system or other approved stormwater system on the subject property.

Drainage

- Refer to Hydraulic Engineer's Documentation for all drainage details.
- All drainage works shall be carried out in accordance with the approved Construction Certificate plans.

Landscape Compliance Report

- At the completion of landscape works, the consulting landscape architect who prepared the documentation shall submit to the Certifying Authority a Landscape Compliance Report.
- This report shall certify shrub and tree species, pot size, and planting densities and landscape area setout comply with these conditions and approved documentation, and practical completion of the landscaping works has occurred.
- This report shall certify required street trees are planted specifically as per the nominated locations on the approved documentation and these conditions, and have edging constructed as per the Lake Macquarie City Council Landscape Standard Drawings March 2019.
- The Certifying Authority shall not issue the Final Occupation Certificate without receipt of the Landscape Compliance Report.

Maintenance & Handover

- Maintenance of a period of 52 weeks shall be carried out after the submission of the Landscape Compliance Report.
- All landscape works required under this consent shall undergo an establishment maintenance period of a minimum of 52 weeks to achieve the intent of the landscape design.
- All landscaping shall then be permanently maintained in good condition in accordance with the approved landscape plan and the adopted Development Control Plan 2014 Guidelines – Landscape Design Guidelines.
- All landscape works shall be carried out/overseen by members of Landscape NSW & ACT Master Landscapers Association and implemented under the full supervision of an appropriately qualified landscape contractor.
- All landscape works to be maintained to achieve continuous healthy growth improving amenity and aesthetics over the site and meeting the aims for the development in the zone.
- Satisfy council that all landscaping work has been undertaken in strict accordance with council's landscape codes and guidelines.
- At the completion of landscape works and prior to the issue of the Occupation Certificate a Landscape Compliance Report is required that establishes satisfactory completion of the landscape works approved.
- This report shall state the actual maintenance carried out on site, including maintenance records such as site work report sheets, diary entries or log books which show frequency of watering, weeding, mulching, personnel and any other remediation or rectification works carried out.
- Carry out the following during the maintenance period (determined by Builder). These works shall include but not limited to watering, weeding, fertilizing, pest and disease control, re-turfing, staking and tying, replanting, cultivation, pruning, aerating, renovation, top dressing and the like.

Specifications Notes



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							Gary Edwards Bachelor of Landscape Architecture (2000 Canberra) Certificate of Horticulture (1991 Orange TAFE)	JBC Family Nominees Pty Ltd	Site Construction Notes		Email: thegardencraftsman@gmail.com	Concept: Project no: Issue no: GE 2305HarmanSelwyn A

